

Utilities Statement



Eastway Fulwood

Ironside Farrar Limited
3 Worsley Court
High Street
Worsley
Manchester
M28 3NJ

30297/Utilities/SRG

January 2018

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1.0 Site Details

1.1 Location of the Site

The site is located on the northern edge of the Fulwood, approximately 4.5km to the north of Preston town centre.

Access to the site is via an existing field access gate directly off Eastway, a public highway (B6241) that forms the southern boundary of the site. The location of the site is indicated in Figure 1.

1.2 Site Details

The site is approximately 1.91 hectares in size and is located on the northern edge of Fulwood, approximately 4.5km to the north of the centre of Preston.

The site is currently entirely covered by grassland with occasional trees, hedgerows and bushes, there is a small pond in the field to the east of the site. Along the northern boundary of the site is the M55 motorway built on an embankment, to the west, separated by a post and rail fence, is an ongoing residential development and to the south is a public highway, Eastway beyond which is mainly new and existing residential housing; along the eastern boundary is similar field beyond which is a former residential care home.

Ground levels vary across the site, the general pattern being a fall of up to 4.5m from the south to the northern boundary of the site; there is also a fall from the southern boundary to the north east corner of approximately 1.2m. The Existing Site Plan is indicated in Figure 2.

1.3 Proposed Development

At the present time, the Masterplan details a Local Centre consisting of:

- A small supermarket, up to 1800 sqm (Class A1);
- Six individual units up to 1160sqm in total (Class A1/A3);
- Restaurant/public house up to 900 sqm (Class A3/A4);
- Drive-through restaurant/café up to 700sqm (Class A1/A3/A5);

The site also includes landscaping, car parking and a new site access to link with Eastway.

2.0 Utilities Search

A full search of utilities has been undertaken, only the most relevant and major services are detailed below.

2.1 Public Water Mains

The search of United Utilities Map of Water Mains indicates there are no public water mains crossing the site.

The closest available water main is a 6inch CI (1961) located in the southern footway of Lightfoot Lane; at the closest point the main is some 200m to the south west of the site boundary.

2.2 Electricity

The Electricity Northwest utilities plans indicate there are no electric cables crossing the site.

There are 6kV-6.6kV cables crossing the railway line through the north side of Lightfoot Bridge, they then continue to run for a short length in the northern verge of Eastway before crossing to the south side to run to the north side of Lightfoot Lane; the cables then turn to the south to run down Lansdown Hill to the Electricity Sub Station located to the west of Lansdown Hill.

From the Sub Station and located in the southern footway of Lightfoot Lane there are LV cables that serve the existing houses.

2.3 Gas

The records of National Grid indicate no gas mains crossing the site or immediately adjacent. There are low pressure gas mains located in the southern footway of Lightfoot Lane and then in the southern side of the carriageway of Lightfoot Lane to the east of Lansdown Hill. It is also understood that a new gas main has been laid recently in Eastway, immediately to the south of the development site.

2.4 Telecoms

There is no underground or above ground plant crossing the development site as detailed on the BT Openreach records.

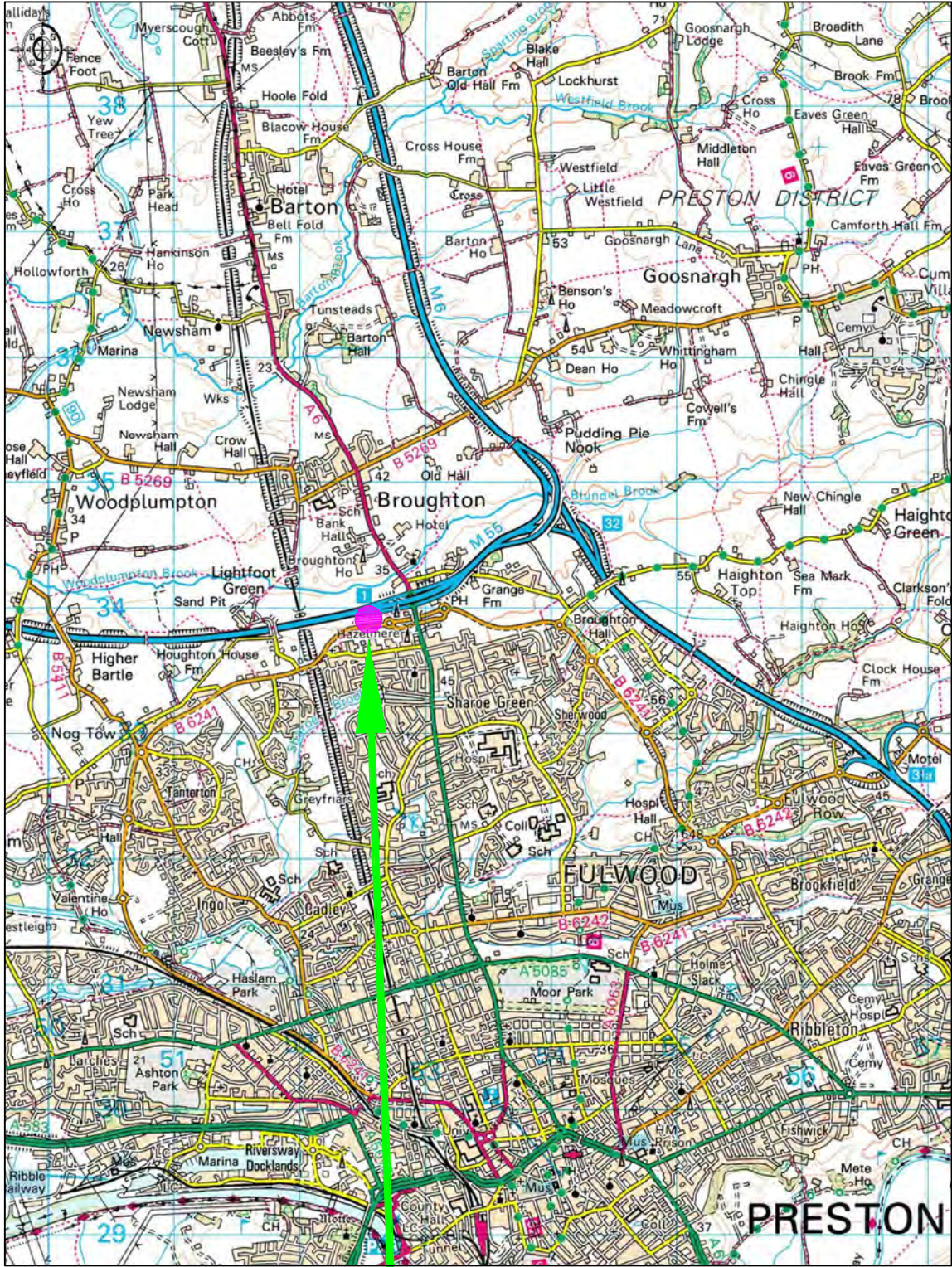
An underground cable/duct crosses the railway on the north side of Lightfoot Bridge and then becomes above ground at a pole immediately to the south of the site boundary in the north verge of Eastway. The above ground cable crosses to the south of the road to serve individual houses on the south side of Lightfoot Lane. Underground cables also run along the northern footway of Lightfoot Lane and the to the west side of Lansdown Hill.

Virgin Media records indicate a duct/trench running along the north verge of Eastway, immediately to the south of the development site. There is a crossing to the south side of Eastway and the duct returns to run in the link road to Lightfoot Lane, adjacent to the Methodist Church.

2.5 Public Sewers

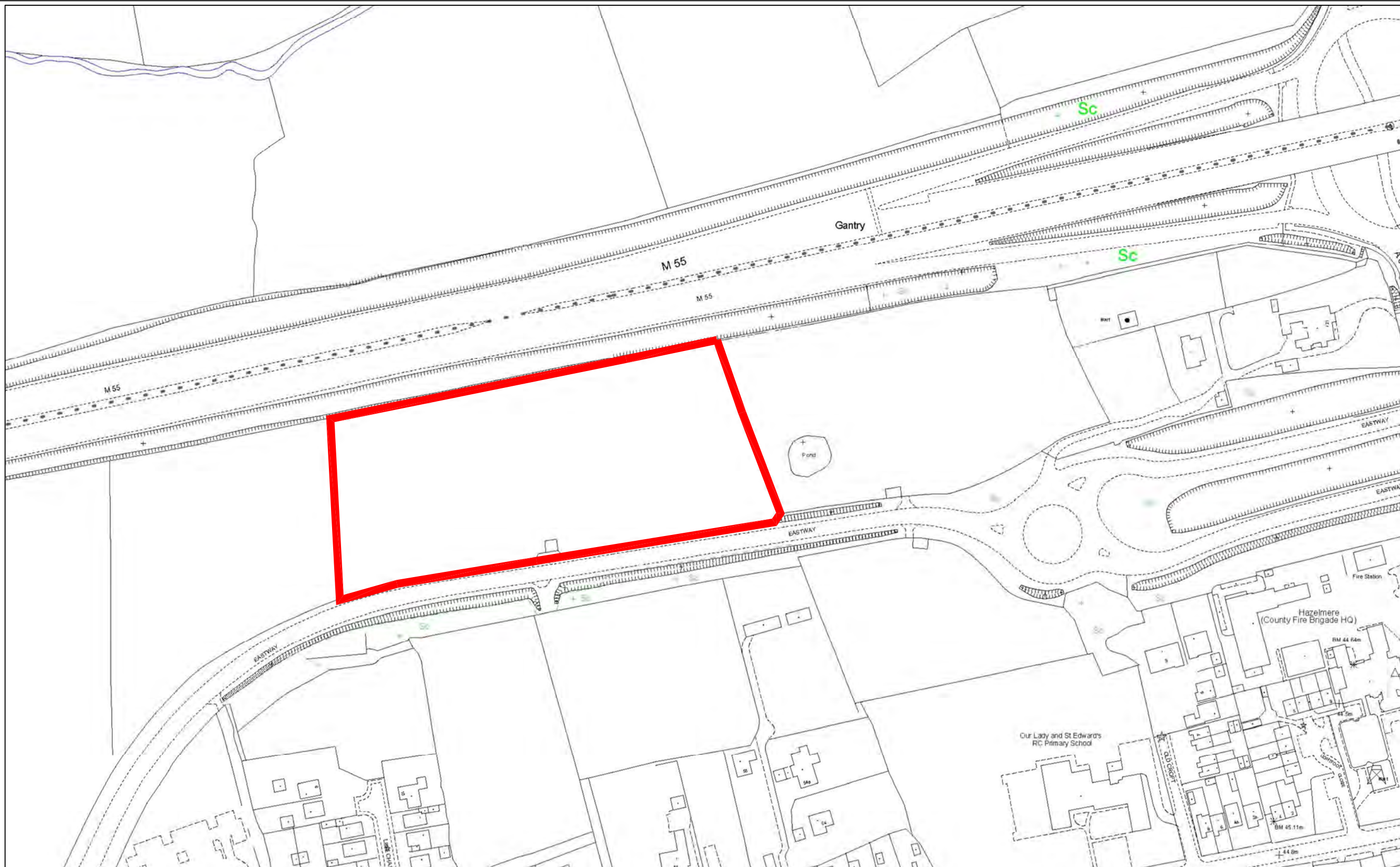
The United Utilities record of Public sewers indicates no public foul or surface water sewers crossing the site.

There are foul and surface water sewers located in Lightfoot Lane, commencing at the point where Eastway and Lightfoot Lane join; the foul is a 150mm dia. sewer and the surface water is 150mm dia. The manholes at the head of the system are 2.12m deep for the foul and 1.92m deep for the surface water. The sewers run in an easterly direction along Lightfoot Lane and then to the south in Lansdown Hill.






Site Location

<p>North Point </p> <p>Quality Ass. </p> <p>Original Size A4</p>	<p>Project: Eastway Site Fulwood (Commercial)</p> <p>Client: Hollins Strategic Land</p> <p>Title: Site Location Plan</p> <p>Copyright Acknowledgment © Crown Copyright. All rights reserved. Licence No. 1000117056</p> <p>Drawn NB Date</p> <p>Checked By SAP Scale</p>	<p>IronsideFarrar Environmental Consultants</p> <p>Environmental Planners Civil Engineers Landscape Architects Graphic Design</p> <p>3 Worsley Court MANCHESTER M20 3NU Tel. 0161 703 8801 Fax. 0161 703 8279 manchester@ironsidefarrar.com</p> <p>EDINBURGH BELLSHILL</p> <p>Drawing No. 30297/Figure 1</p> <p>Revision</p>
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KEY

SITE BOUNDARY 

 North Point  Quality Ass.  UKA	Project Eastway Site Fulwood (Commercial)	IronsideFarrar Environmental Consultants Environmental Planners Civil Engineers Landscape Architects Graphic Design 3 Worsley Court, MANCHESTER M28 3NJ Tel. 0161 703 8801 Fax. 0161 703 8279 manchester@ironsidefarrar.com EDINBURGH BELLSHILL
	Client Hollins Strategic Land	
Title Existing Site Plan	Drawing No.	Revision
Original Size A3	Copyright Acknowledgement ©Crown Copyright. All rights reserved. Licence No. AL1000117966.	Drawn NB Date
	Checked By SAP Scale	30297/Figure 2