

## Drainage Statement



### **Eastway Fulwood**

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Worsley  
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30297/Drainage/SRG

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## 1.0 Site Details

### 1.1 Location of the Site

The site is located on the northern edge of the Fulwood, approximately 4.5km to the north of Preston town centre.

Access to the site is via an existing field gate directly off Eastway, a public highway (B6241) that forms the southern boundary of the site. The location of the site is indicated in Figure 1.

### 1.2 Site Details

The site is approximately 1.91 hectares in size and is located on the northern edge of Fulwood, approximately 4.5km to the north of the centre of Preston.

The site is currently entirely covered by grassland with occasional trees, hedgerows and bushes, there is a small pond in the field to the east of the site. Along the northern boundary of the site is the M55 motorway built on an embankment, to the west, separated by a post and rail fence, is an ongoing residential development and to the south is a public highway, Eastway beyond which is mainly new and existing residential housing; along the eastern boundary is similar field beyond which is a former residential care home.

Ground levels vary across the site, the general pattern being a fall of up to 4.5m from the south to the northern boundary of the site; there is also a fall from the southern boundary to the north east corner of approximately 1.2m. The Existing Site Plan is indicated in Figure 2.

### 1.3 Proposed Development

At the present time, the Masterplan details a Local Centre consisting of:

- A small supermarket, up to 1800 sqm (Class A1);
- Six individual units up to 1160sqm in total (Class A1/A3);
- Restaurant/public house up to 900 sqm (Class A3/A4);
- Drive-through restaurant/café up to 700sqm (Class A1/A3/A5);

The site also includes landscaping, car parking and a new site access to link with Eastway.

## 2.0 Surface Water Drainage

Reference should be made to the Flood Risk Assessment (FRA) prepared by Ironside Farrar for the proposed development; the FRA includes a proposed surface water drainage layout for the site.

It is known that an existing 750mm dia. surface water culvert crosses under Eastway and runs through the western portion of the development site to cross under the M55 Motorway and connect to Blundel Brook to the north of the motorway. It has been accepted previously that surface water run-off from the existing site is connected to this pipe and the proposal is therefore to limit flows to Greenfield run-off rates before discharge to the culvert. The existing pipe will need to be diverted during the development.

The drainage layout also details the inclusion of SUDS measures wherever possible to provide attenuation and treatment of surface water flows.

The full design details will need to be discussed with United Utilities, The Environment Agency and Lancashire CC at the appropriate time.

## 3.0 Foul Drainage

As detailed in the Utilities Statement, there are no public foul sewers crossing the proposed development site. The closest available public foul sewer is located to the south of the site at the point where Eastway and Lightfoot Lane join; at this point the foul sewer is a 150mm dia. and the manhole is 2.12m deep with an invert level of 40.45m.

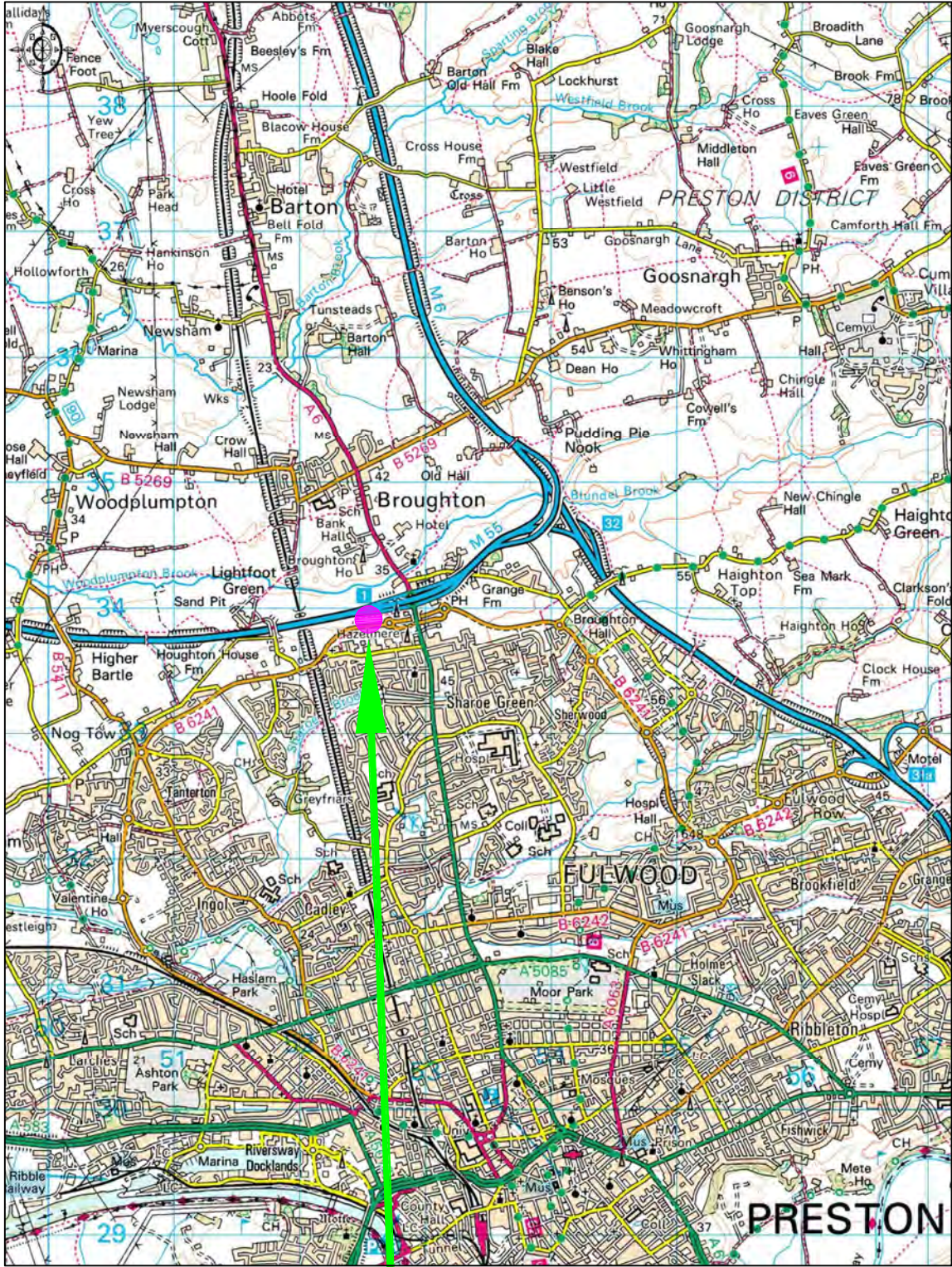
The topographical survey indicates the levels generally fall in a northerly direction towards the M55 Motorway, this is away from the public sewer detailed above. The lowest levels on the development are indicated as approximately 36.50m and a gravity connection to the existing sewer will not be possible.

It is therefore proposed the site will be served on a gravity sewerage system that will drain to a new foul pumping station to be sited in a suitable location along the northern boundary of the development. When considering a location for the pumping station, the following factors should be appreciated:



- The station may need to comply with the requirements of Sewers for Adoption.
- Access from a highway will be required for a tanker unit to undertake routine maintenance.
- The station should be situated a minimum of 15m from buildings to minimise noise and odour nuisance.
- A fenced, secure compound will be required.

The full design details will need to be discussed and agreed with United Utilities at the appropriate time.

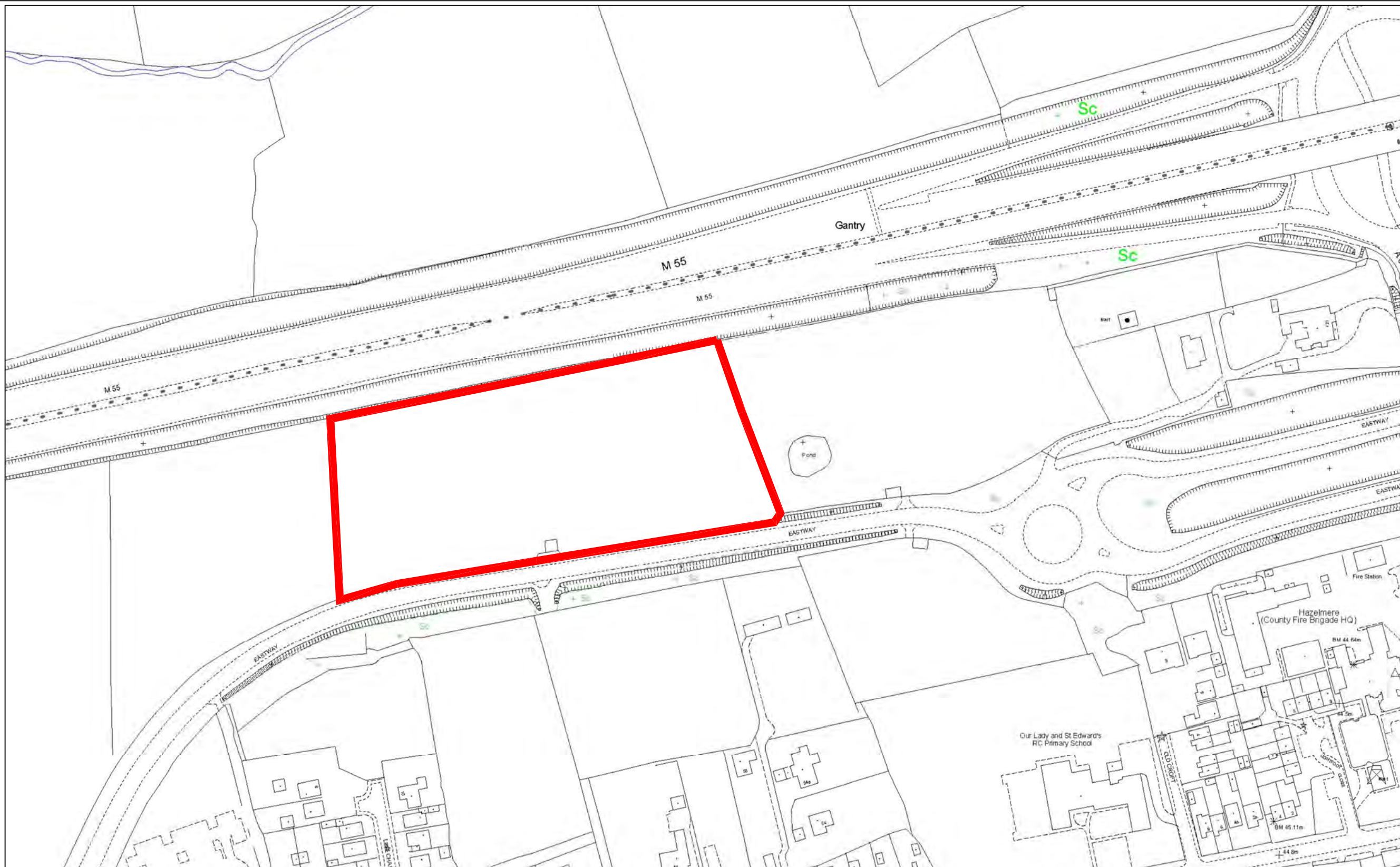




Site Location




<p>North Point</p> 	<p>Project: <b>Eastway Site Fulwood (Commercial)</b></p>	<p><b>IronsideFarrar</b> Environmental Consultants</p> <p>Environmental Planners Civil Engineers Landscape Architects Graphic Design</p> <p>3 Worsley Court MANCHESTER M20 3NU Tel. 0161 703 8801 Fax. 0161 703 8279 manchester@ironsidefarrar.com</p> <p>EDINBURGH      BELLSHILL</p>
<p>Quality Ass:</p> 	<p>Client: <b>Hollins Strategic Land</b></p> <p>Title: <b>Site Location Plan</b></p>	
<p>Original Size: <b>A4</b></p>	<p>Copyright Acknowledgment: ©Crown Copyright. All rights reserved. Licence No. 1000117056</p>	<p>Drawn: <b>NB</b></p> <p>Date:</p>
		<p>Checked By: <b>SAP</b></p> <p>Scale:</p>
		<p>Drawing No: <b>30297/Figure 1</b></p>
		<p>Revision:</p>





KEY

SITE BOUNDARY 

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	Client <b>Hollins Strategic Land</b>	
Title <b>Existing Site Plan</b>	Drawing No. <b>30297/Figure 2</b>	Revision
Original Size <b>A3</b>	Copyright Acknowledgement ©Crown Copyright. All rights reserved. Licence No. AL1000117966.	Drawn <b>NB</b> Date
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